

City of Vista Objective Design Standards



October 2022



Acknowledgments

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Introduction I



I. Introduction

A. Purpose.

The purpose of these design standards is to provide the public, building and design professionals, and decision-makers with objective criteria for eligible residential and mixed-use development in the City. The intent is to provide clear design direction that enhances an area's unique character and sense of place, respects existing neighborhood compatibility and privacy, and ensures a high-quality living environment.

B. Background.

In 2017, the Governor signed into law multiple housing bills which went into effect on January 1, 2018 and will expire on January 1, 2026. SB 35 (California Government Code, §65913.4) provides for a streamlined, ministerial approval process for eligible multifamily residential development (two or more residential units), subject to certain conditions including affordability requirements, and consistency with objective zoning and design standards.

C. Applicability.

The provisions of this chapter apply to all newly constructed residential and mixed-use projects, in all zones and specific plan areas, that qualify for streamlined, ministerial processing, and which meet the definition of "housing development projects" under California Government Code §69989.5. These include multifamily housing with two or more units, and mixed-use projects with two-thirds or more of the project dedicated to residential square footage.

Additionally, the provisions apply to any newly constructed residential and mixed-use projects where the City establishes applicability in the Vista Development Code.

- 1. Compliance with Existing Standards.** Eligible residential projects shall comply with existing policies and objective standards including those established in the Vista Development Code, adopted City plans and design manuals (e.g., specific plans, General Plan, Vista Design Guidelines and Landscape Manual), and the California Building Code (CBC).

2. **Exceptions, Waivers, or Modifications.** Residential and mixed-use projects seeking exceptions, waivers, or modifications to any development standards set forth in the Vista Development Code or the design standards set forth in this document, excluding modifications such as concessions, incentives, parking reductions, or waivers of development standards pursuant to State Density Bonus Law, shall not be eligible for streamlined, ministerial processing per SB 35. The City's non-streamlined, discretionary review process shall be required for any project that seeks exceptions, waivers, or modifications to objective standards.
3. **Conflicting Standards.** If there is any conflict between the Objective Design Standards and existing City and/or State requirements, the more restrictive objective standard shall apply.

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Site Design



II. Site Design

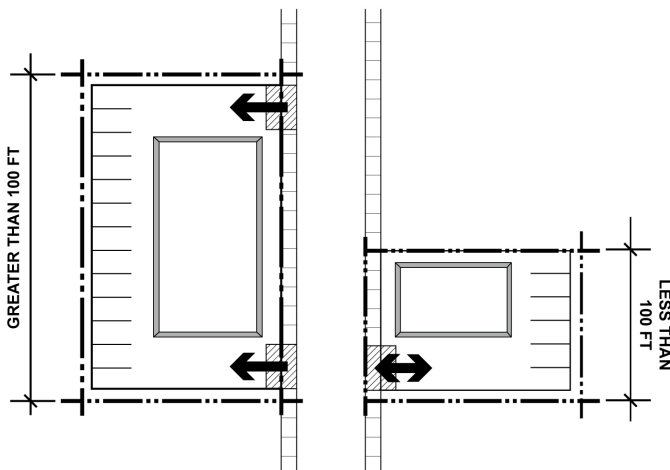
A. Purpose.

Site design refers to the arrangement of - and relationships between - buildings, parking areas, common and private open space, landscaping, and pedestrian connections. The site planning topics in this chapter include site layout and building placement, vehicular surface parking and access, pedestrian circulation and access, landscaping, and common and private open space.

B. Vehicular Parking and Access.

Vehicular parking and access shall comply with objective provisions of Chapter 18.54, Off-Street Parking and Loading Requirements, and Chapter 16.57, Private Street and Driveway Standards, of the Vista Development Code; relevant specific plans; Vista Landscape Manual; Vista Design Guidelines; and other applicable City standards. In addition, projects shall comply with the following:

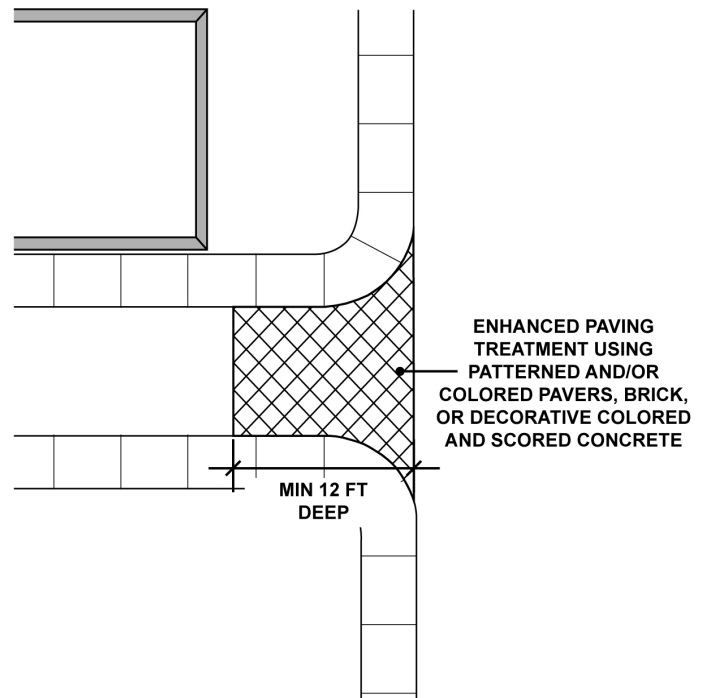
1. **Primary Access.** Side street or alley access shall serve as the main vehicular access to parking areas, if available. If not available, the primary street shall serve as the main vehicular access.
2. **Number of Access Points.** For interior lots with less than 100 linear feet of street frontage, a maximum of one vehicle access point from the street is permitted. For interior lots with 100 linear feet or more of street frontage, a maximum of two vehicular access points from the street is permitted (for parking areas with one-way circulation, the maximum shall be two vehicle access points, one for entering and one for exiting). For corner lots, one vehicular access point is permitted per street frontage with less than 100 linear feet and two vehicular access points are permitted for street frontages with 100 linear feet or more, with an overall maximum of two vehicular access points permitted.



II.B.2. Vehicular Parking and Access: Number of Access Points.

3. **Loading and Service Areas.** Loading and service areas shall comply with existing standards in the Vista Development Code and/or a relevant Specific Plan, as well as the following standards:
- All required loading and service areas shall be located on a facade other than the primary building frontage, and/or at the rear or side of the site so as to minimize their visibility.
 - Loading and service areas shall be located to not obstruct, block, or prevent the flow of onsite and offsite vehicular traffic.
 - Loading and service areas shall not be located adjacent to residential dwelling units or common open space areas and shall be screened from view with solid walls or fencing, and/or dense evergreen vegetation.
4. **Entry Driveways.**

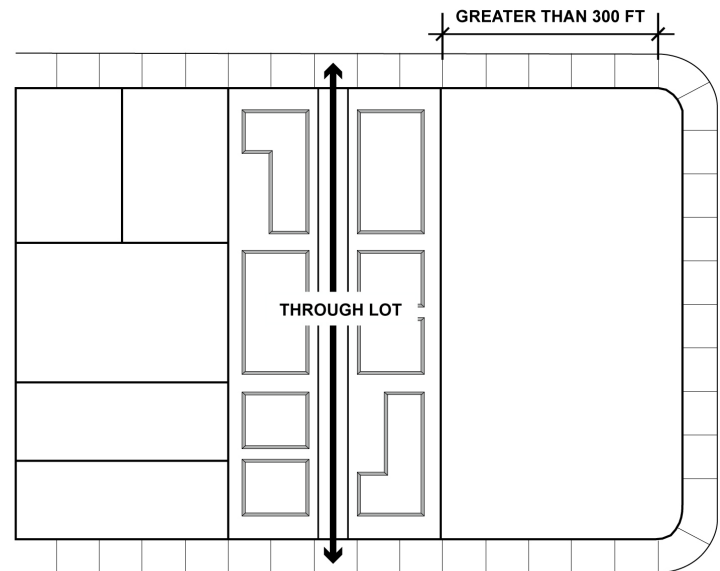
- Primary Entry Driveways.** Projects shall incorporate low decorative fencing or walls a maximum of 3 feet in height, and/or enhanced landscaping and signage to accentuate a primary entry driveway into the site. Curb returns shall be used at all primary driveway entries.
- Enhanced Paving for Entry Driveways.** Enhanced paving treatment using patterned and/or colored pavers, brick, or decorative colored and scored concrete shall be used for entry driveways a minimum of 12 feet deep (including where the driveway crosses the public sidewalk) and spanning the width of the entry driveway.



II.B.2. Vehicular Parking and Access: Enhanced Paving for Entry Driveways.

C. Pedestrian Circulation and Access

1. **General.** Paved or hardscape on-site pedestrian circulation and access shall be provided according to the following standards:
 - a. Pedestrian circulation shall connect residential units to areas throughout the site, such as vehicle parking areas, bicycle parking areas, common outdoor open space, waste and recycling enclosures, and other amenities. See Section II.C.3 for additional provisions related to pedestrian travel in vehicle parking areas.
 - b. Pedestrian walkways shall connect public sidewalks to common building entrances.
 - c. Pedestrian walkways shall connect public sidewalks to vehicle parking areas.
 - d. Pedestrian walkways shall connect common building entrances to all transit stops directly adjacent to the project.
2. **Pedestrian Pathways.** Pedestrian pathways shall be provided with a minimum clear width of five feet along their entire length, according to the following standards:
 - a. **Through Lot Connection.** Through lots located more than 300 feet from a street intersection (from the closest point of the lot) shall provide a publicly accessible sidewalk or pathway connecting the two streets.
 - b. **Materials.** Pathways shall be constructed of firm, stable, and slip-resistant materials such as poured-in-place concrete (including stamped and stained concrete), permeable paving, brick, or concrete pavers.
 - c. **Enhanced Paving for Pedestrian Crossings.** Where pathways cross a vehicle lane such as a driveway or parking lot drive aisle, the pathway should be clearly delineated



II.C.2.a. Pedestrian Circulation and Access: Through Lot Connection

by a contrasting color, pavement pattern, and/ or be raised slightly to form a speed table to clearly identify the pedestrian crossing. Pedestrian crossings shall feature enhanced paving a minimum width of five feet spanning the width of the accessway.

- d. **Landscaping.** Walkways shall be flanked on both sides with landscaping, including a mix of turf, groundcover, and shrubs a maximum four feet in height. Parking lots under 100 spaces are excluded from this requirement. Both sides of walkways shall provide trees which shall be spaced to shade at least 50% of the overall walkway length at maturity. For walkway segments directly adjacent to a wall, landscaping shall consist of vines espaliered against wall surfaces. Landscaping shall comply with the City of Vista Landscape Manual and Chapter 18.56, Water Efficient Landscaping, of the Development Code.
3. **Pedestrian Circulation in Vehicle Parking Areas.** Pedestrian pathways shall be provided within vehicle parking facilities with 100 or more spaces, separate from traffic lanes, to allow pedestrians safe access to building entries as follows:
 - a. Pathways running parallel to the parking rows shall be provided for every four rows.
 - b. Pathways running perpendicular to the parking rows shall be no further than 20 parking stalls apart.
 - c. Pathways shall comply with Section C.2, Pedestrian Pathways, of the Objective Design Guidelines.
 4. **Enhanced Paving for Building Entrances.** Primary building entryways shall provide decorative and accent paving that contrast in color and texture from the adjacent walkway paving.

D. Common Usable Open Space.

Common usable open space that is accessible and usable to residents of all ages shall be provided as required by Title 18 (Zoning) of the Vista Development Code, relevant specific plans (e.g., Downtown Vista Specific Plan), and the Vista Design Guidelines. Common usable open space shall comply with the standards below. Additional standards specific to projects in an M-U Zone are provided in Section IV.D.

1. **Amenities – Projects of 4 to 9 units.** Common open space shall include one or more of the following amenities: gathering and picnic spaces, play areas, multi-use paths and trails, athletic/recreational courts, pools and spas, community gardens, or other similar outdoor amenity. An applicant may provide common open space through an amenity not on this list if it is readily accessible by all residents for recreation and social purposes.

2. **Amenities – Projects of 10 or More Units.** Projects of 10 or more dwelling units shall provide amenities in compliance with standards in the City of Vista Design Guidelines, including Architecture-Multifamily Guidelines 32 and 34.
3. **Visibility.** Common open space shall be located and arranged to allow visibility into the space from pedestrian walkways on the interior of the site.
4. **Paving.** Hardscaped surfaces in shared open spaces (e.g., courtyards) shall be enriched through decorative pavers, brick, or stamped concrete.
5. **Seating.** Common usable open spaces shall incorporate seating in both shaded and sunny areas.

E. Private Usable Open Space.

Private usable open space shall be provided as required by Title 18 (Zoning) of the Vista Development Code and/or relevant specific plans. The following are additional standards related to privacy:

1. **Screening with Structural Elements.** Where private open space (such as a balcony or ground floor patio) is located adjacent to a window of an adjoining dwelling unit, balcony and patio walls or fencing shall be constructed of opaque materials with limited openings to provide a minimum of 85% surface area screening (measured from the finished floor of the private open space to the top of the railing, fencing, or walls).
 - a. **Wall/Fencing Heights.** Walls or fencing used as screening shall be minimum of 48 inches in height. Balcony railings shall be minimum 42 inches in height.
2. **Screening with Landscaping.** A landscape buffer of minimum five (5) feet width and/or an opaque fence or wall, shall be located to enclose a ground-level private outdoor space. The buffer shall be planted with dense evergreen shrubs and vines which grow to or are maintained at a maximum height of four (4) feet.

F. Landscaping.

Landscaping shall be utilized for all outdoor areas that are not specifically used for vehicular access ways and parking areas, pedestrian walkways, and paved or covered open space/recreational facilities. Landscaping shall comply with the objective provisions of the City of Vista Landscape Manual and the Vista Development Code including Chapter 18.34, R-M Multi-Residential Zone; Chapter 18.35, M-U Mixed-Use Zone; Chapter 18.56, Water Efficient Landscaping; and/or relevant specific plans. The following additional standards are applicable for sites adjacent to residential uses:

1. **Site Perimeter.** If the site is adjacent to residential uses, landscaping consisting of evergreen hedges and/or trees shall be provided around the perimeter of the property as a buffer between adjacent properties to obscure direct sight lines into individual residences or

private open spaces. For projects in an M-U (Mixed-Use) Zone, landscaping shall be provided in addition to a masonry wall, where applicable, per Section 18.35.080 of the Vista Development Code.

- a. *Perimeter and Privacy Screening Plant Selection.* Perimeter and individual unit landscape privacy screening shall consist of dense shrubs and evergreen trees a minimum of 15 gallons, located to grow to at least the height of the window, door, or private open space. Plantings shall be selected to achieve at least 50% of this height within no more than two years from time of installation.
2. **Individual Units.** Landscaping shall obscure direct sight lines between adjacent individual units, and may be used in combination with walls, fencing, and/ or trellises to screen views. Landscape privacy screening shall include large trees and shrubs located to quickly grow to at least the height of the window, door, or private open space. Plant selection and landscape screening container size shall be selected to achieve at least 50% of this height within no more than two years from time of installation.
3. **Plant Selection.** Plant selection shall contain a mix of flowering vegetation and varying textures, and shall contain a mix of at least 50% evergreen species.
 - a. *Adjacent to Open Space.* Projects located adjacent to open space zones and natural vegetation areas shall provide 75% of California native species.

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Building Design



III. Building Design

A. Purpose.

Building design incorporating variations in form, massing, and facade articulation provides human scale and visual interest to a building, and also delineates individual units or groups of units. This is primarily achieved through varied heights, projections, setbacks, and recesses. Variations in materials and colors further emphasize changes and hierarchy in building form.

B. Building Form, Massing, and Articulation.

1. Buildings greater than two stories shall be designed to differentiate a defined base; a middle or body; and a top, cornice, or parapet cap. Buildings two stories or less shall include a defined base and top. This effect shall be achieved through incorporating at least two of the following design elements for each building:
 - a. Color, texture, or material changes.
 - b. Variations, projections, or reveals in the wall plane.
 - c. Variations in fenestration size or pattern.
 - d. Weather protection with depth of at least 36 inches.
 - e. Decorative architectural details such as cornices and columns with depth of at least 6 inches.

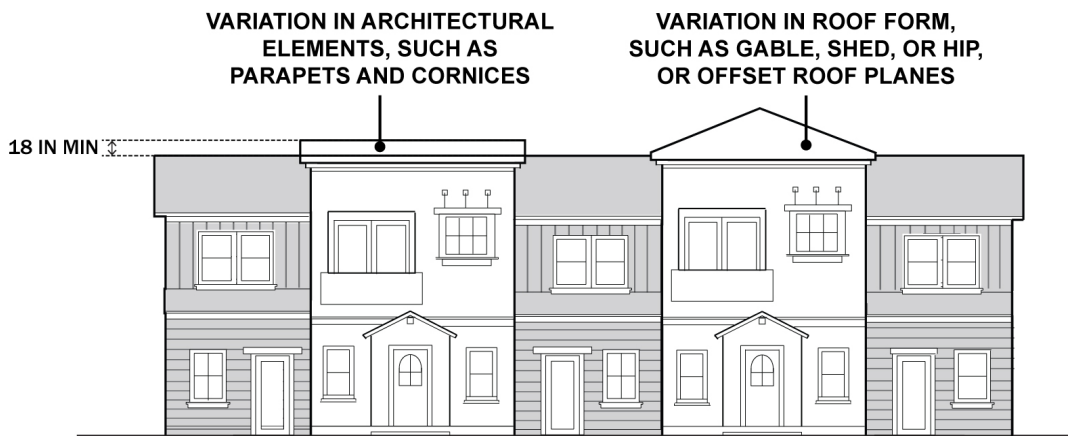
2. **Wall Plane Variation.** Building facades visible from the primary street or the public right-of-way shall not extend more than 30 feet in length without two of the following:
 - a. A two-foot minimum variation in depth in the wall plane.
 - b. Architectural features such as overhangs, bay, canopies, columns, pilasters, trellises, arches, and change in fenestration.
 - c. A building entrance such as a front porch or stoop; patio, deck, or balcony; or upper-story setback;
 - d. A change in height of at least 5 feet greater or less than the height of the abutting facade.
 - e. Other clearly defined projecting or recessed architectural elements.



III.B.2. Building Form, Massing, and Articulation: Wall Plane Variation.

3. **Corner Building Massing.** Buildings located at the corner of an intersection and greater than two stories shall include one or more of the following features within 40 feet of the corner of the building.
 - a. A common entry to a primary residential building or an entry to ground-floor commercial uses. Development projects in an M-U zone shall comply with corner cutoff and entry standards in Section 18.35.080, Development Standards, of the Vista Development Code.
 - b. A different material application, color, or fenestration pattern of windows and doors from the rest of the facade.
 - c. A change in height of at least 5 feet greater or less than the height of the abutting facade.

4. **Corner Architectural Features.** At intersections of two roadways classified as 4- or 6-Lane arterial, major, or collector (per General Plan Circulation Element), provide landmark features at corners such as towers, primary entries, enhanced materials, or roof projections to create a sense of hierarchy.
5. **Rooflines.** Roofline elements shall be carried around all elevations, regardless of orientation to the public right-of-way. Rooflines shall not extend more than 30 feet in length without at least one prominent change as described below:
 - a. Variation in roof form, such as gable, shed, or hip, or offset roof planes.
 - b. Variation in architectural elements, such as parapets and cornices.
 - c. Provide variation of roof height of at least 18 inches (as measured from the highest point of each roofline).



III.B.5. Building Form, Massing, and Articulation: Rooflines.

6. **Flat Roofs and Parapets.** Parapets shall be provided around the perimeter of a flat roof and shall be high enough to screen all rooftop mechanical equipment from being visible from all common open spaces and public right-of-way.
 - a. Interior side of parapet walls shall not be visible from a common open space, pedestrian view, or public right-of-way.
 - b. Parapets shall be capped with precast treatments, continuous banding, or projecting cornices, dentils, or similar edge treatment.
7. **Four-sided Architecture.** Buildings shall be designed and articulated with common details, articulation, materials, and elements on all sides. Rear building elevations facing a public street or that are visible from a public right-of-way shall feature enhanced architectural treatments similar to front building elevations' architectural treatments.

C. Common Building and Site Entries.

1. **Street-Facing Pedestrian Entry.**

a. **Multi-Unit Buildings.** Multi-unit buildings located adjacent to the street shall have a minimum of one common ground-level entryway facing the primary street. For corner buildings adjacent to the primary street, there shall be either one common entry at the corner or one entryway facing each street. See related standards in Section II.C, Pedestrian Circulation and Access, in the Objective Design Guidelines. For mixed-use buildings, see Section IV.C, Street-Facing Entry.

2. **Non-Street-Facing Building Entry.** Multi-unit buildings not located adjacent to a street shall have building entryways oriented to face common open space areas such as landscaped courtyards, plazas, greens, or paseos.

3. **Building Entry Architectural Treatments.** Common building entries shall be differentiated from the main façade through at least two of the following:

- a. Roof above the entry incorporates a change in roof line of at least 18 inches.
- b. Entry incorporates a variation of wall plane (recessed or projected) a minimum of 2 feet from the adjacent wall planes.
- c. Entry incorporates architectural treatments that vary from those on the general facade (e.g., window and/or door trim with substantial depth and detail, decorative siding, porches, stoops).

4. **Lobby Stairways.** Building lobbies for multi-floor buildings shall have a main stairway visible from the entrance door.

D. Individual Unit Entry

1. **Street-Facing Entry.** Each dwelling unit fronting a primary street on the ground floor shall include at least one street-facing porch, balcony, or patio which may contribute to all or part of private open space requirements.

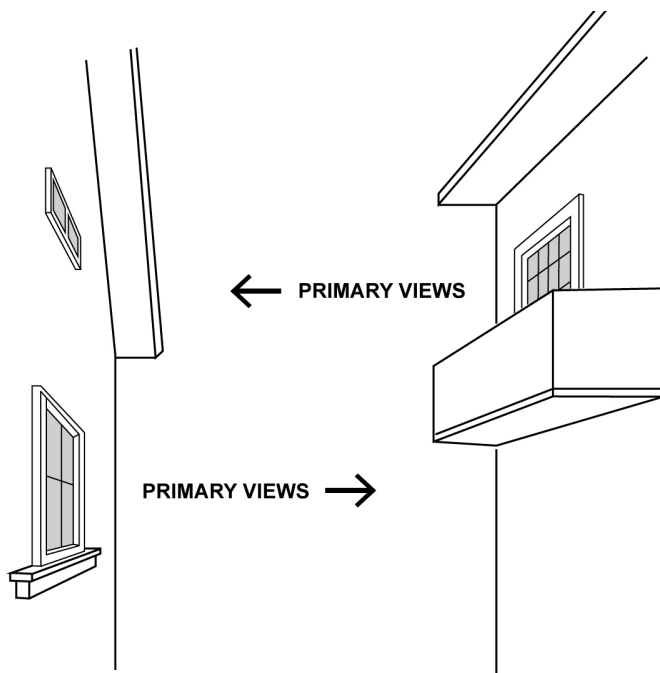
2. **Non-Street-Facing Entry.** Ground-floor dwelling units not located adjacent to a street shall have front entryways oriented to face common open space areas such as landscaped courtyards, plazas, greens, or paseos.

3. **Architectural Treatments.** Street-facing unit entries shall be differentiated from the facade they are located on by the use of a porch, stoop, patio, terrace, forecourt, or courtyard. Entryways shall provide weather protection through a roof projection and/or entry recess with a minimum total depth of 36 inches.

4. **Upper Floor Unit Entry.** Exterior entrances to individual units on upper floors are not permitted.

E. Windows and Doors.

1. **Privacy.** Where windows and/or doors are proposed within 10 feet of another building, their design and placement shall ensure privacy for users in both buildings to avoid unfiltered/direct views between the sites, and shall be designed with two or more of the following:
 - a. Windows, doors, porches, balconies, patios, and decks shall not directly align with unscreened adjacent primary interior living areas or open spaces.
 - b. Utilize non-transparent or obscured glazing, such as frosted/patterned glass. Reflective glazing is not permitted.
 - c. Provide permanent architectural screens or affixed louvers at windows.
 - d. Windows shall be offset horizontally at least 12 inches from any windows in adjacent buildings (edge to edge) or use clerestory windows, glass block or non-operable



III.E.1.a. Windows and Doors: Privacy.

opaque windows so as not to have a direct line-of sight into adjacent units.

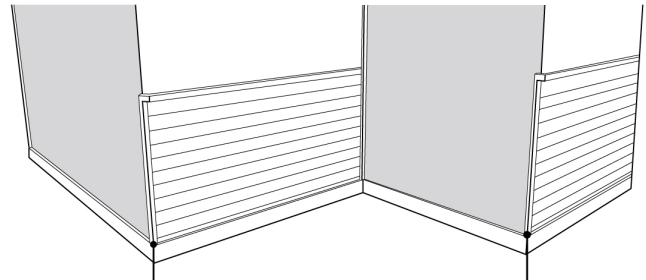
2. **Window Treatment.** Windows shall either be recessed at least three inches from the plane of the surrounding exterior wall or shall have a trim or windowsill at least one-half inch in depth.
 - a. **Windows Facing a Public Street.** Windows facing a public street or that are visible from the public right-of-way shall feature enhanced window treatments, such as decorative trim, shutters, awnings, decorative architectural brackets, and/or trellises.
 - b. **Window Shutters.** Functional and decorative shutters shall be $\frac{1}{2}$ -width of the associated window glazing (for paired shutters), or matching width for a single shutter adjacent to a single narrow window.

- c. *Awnings.* Aluminum or vinyl are not allowed.

F. Materials and Colors.

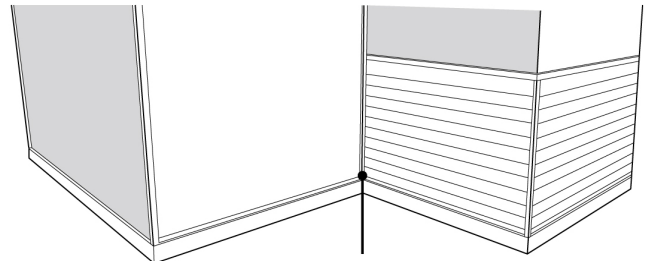
1. **Wall Material.** The primary exterior siding material for buildings shall be wood, stone, brick, stucco, fiber cement, composite wood or stone, or a material allowed per relevant specific plan standards. Plywood is prohibited.
2. **Window Material.** Window materials and color shall be consistent on all elevations.
3. **Material Transition.** Changes in material shall not occur at the outside corners or within a wall plane. Changes shall occur at inside corners of intersecting walls, or at architectural features that break up the wall plane, such as columns.
4. **Accent Material.** Use of accent materials such as glass, tile, brick, stone, concrete, or plaster shall be

DON'T DO



CHANGES IN MATERIAL SHALL NOT OCCUR AT THE OUTSIDE CORNERS OR WITHIN A WALL PLANE

DO



CHANGES IN MATERIAL SHALL OCCUR AT INSIDE CORNERS OF INTERSECTING WALLS

III.F.3. Materials and Colors: Material Transition.

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Mixed-Use Standards

IV

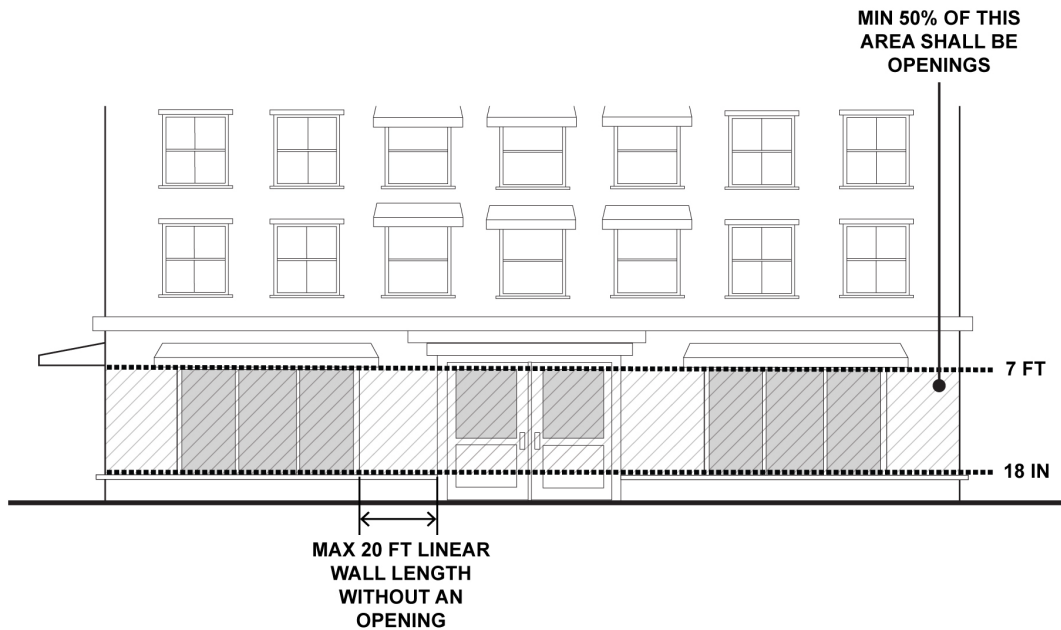


IV. Mixed-Use Standards

The following additional standards apply for all projects in an M-U Zone.

A. Ground Floor Transparency.

Exterior walls facing any front- or street-facing lot line must include windows or doors for at least 50 percent of the building wall area located between 18 inches and 7 feet above the elevation of the sidewalk. The window area shall be clear and transparent to enhance pedestrian experience at street level and shall not be obstructed with signage, displays, or other window treatments covering more than 25 percent of the window area. No wall may run in a continuous plane for more than 20 feet without an opening. Parking garages are not required to meet the ground floor transparency requirement.



IV.A. Ground Floor Transparency.

B. Street-Facing Setbacks.

Where a front- or street-facing side setback is provided for a mixed-use building, it must be landscaped and/or hard surfaced for use by pedestrians. The setback shall contain at least two pedestrian-oriented, publicly accessible amenities per 50 linear feet such as benches, drinking fountains, shade structure, or other design element (e.g., public art, planters, and kiosks).

C. Street-Facing Entry.

Mixed-use buildings located adjacent to the street shall incorporate at least one pedestrian entry directly from the public sidewalk or right-of-way. Primary entries shall include weather protection that is a minimum 6 feet wide and 4 feet deep by recessing the entry or providing an awning or similar weather protection element. Entries adjacent to the sidewalk shall minimize conflicts between passers-by and people entering or leaving the building by ensuring a four-foot-deep clear area between the entry door and the edge of the sidewalk path of travel.

D. Common and Private Usable Open Space.

Common and private usable open space shall be provided according to the following standards.

1. **Projects with four or fewer dwelling units.** These projects shall provide a minimum of 200 square feet of open space per unit, which may be provided as common or private open space. Roof decks may also count toward the required open space if amenities such as gathering, picnic, and seating areas are provided.
2. **Projects with five to 20 dwelling units.** These projects shall provide a minimum of 200 square feet of open space per unit. At least 33 percent of the total required area shall be provided as private space for each unit; the remaining space shall be provided as common open space for use exclusively by residents. Roof decks may also count toward 50 percent of the required open space if amenities such as gathering, picnic, and seating areas are provided.
3. **Projects with more than 20 dwelling units.** These projects shall provide a minimum of 200 square feet of open space per unit. At least 25 percent of the total required area shall be provided as private space for each unit; the remaining space shall be provided as common open space for use exclusively by the residents. Roof decks may also count toward 20 percent of the required open space if amenities such as gathering, picnic, and seating areas are provided.
4. **Minimum Dimensions and Minimum Area.** Any space credited or used as private space shall have a minimum horizontal dimension of 10 feet and a minimum area of 100 square feet. Any space credited or used as common space shall have a minimum horizontal dimension of 20 feet and a minimum area of 400 square feet.

5. **Publicly Accessible Open Space – Mixed-Use Projects of More than 50 Units.** Projects of more than 50 units and located adjacent to the street shall include at least one gathering space along the street frontage that provides an opportunity for neighborhood interaction, such as a courtyard, picnic/sitting area, or play area. This space shall be publicly accessible from the public sidewalk for a minimum daily duration of dawn to dusk, and shall have direct visual access from public right-of-way to maximize safety and security. This gathering space may count towards the requirements of Common Usable Open Space.

Utilitarian Elements



V. Utilitarian Elements

A. Bicycle Parking.

Bicycle parking shall be provided to comply with Section 18.54.080, Bicycle Parking/Storage Requirements, of the Vista Development Code, and bicycle parking facilities shall follow the following standards:

1. Outdoor bicycle parking/storage shall be on a paved surface such as asphalt or concrete in a lighted location.
2. Bicycle racks must allow the bicycle to be secured separately at two points: the frame and at least one wheel.
3. The location of outdoor bicycle racks and/or lockers shall ensure a clear path of travel in a sidewalk or other public right-of-way, taking into account space for bike placement and maneuvering.
4. Bicycle storage facilities provided in an outdoor enclosed structure shall incorporate materials and colors used in the primary building, and shall not be visible from the public right-of-way. Outlets shall be made available within the storage lockers for electric bicycles.

B. Trash, Recycling, and Green Waste Container Enclosures.

Trash, recycling, and green waste container enclosures are required for multiple unit and mixed-use developments. They shall be located within a building, incorporated into the exterior building design, or located within a detached enclosure. The siting and design of enclosures shall comply with the provisions of Section 18.58.590, Refuse Collection and Storage Areas, of the Development Code and Site Design Guideline 42 of the Vista Design Guidelines.

1. No trash collection area or trash/recycling enclosure shall be visible from a public right-of-way.
2. Outdoor refuse containers shall be visually screened within a non-combustible enclosure, so that it is not visible from adjacent lots or sites, neighboring properties or streets. Enclosure shall be constructed with minimum 6-foot tall decorative block wall, to be painted to match the existing building. Enclosure entry shall have a decorative fence/gate.
3. Roof structures shall be provided over refuse collection enclosures. Roof structure shall be covered with a minimum 6-inch thick fascia to screen roofing element from view.

C. Fences and Walls.

Fences and walls shall be designed consistent with the primary building colors and materials. Chain link fencing is prohibited. Where fences and walls of different materials or finishes intersect, a natural transition or break (such as a column or pilaster) shall be provided. See Section 18.58.370, Fences and Walls, of the Vista Development Code for additional standards.

D. Lighting.

Lighting shall be provided in all areas for vehicular and pedestrian circulation, entryways, and common open spaces. Lighting shall comply with the provisions of Section 18.58.260, Outdoor Lighting Facilities and/or Fixtures, of the Vista Development Code.

E. Equipment and Utility Screening.

In-ground and wall-mounted utility elements such as wires, conduits, junction boxes, transformers, ballast, backflow devices, irrigation controllers, switch and panel boxes, and utilities such as gas and electrical meters shall be concealed from public view with screening by physical elements incorporating the materials and colors of the primary building design. Landscape screening with evergreen plants may be planted to completely conceal the equipment or utility.

F. Vents and Exhaust.

All wall-mounted elements shall be located at interior corners of building walls or behind building elements that conceal them from public view. All flashing, sheet metal vents, exhaust fans/ventilators, and pipe stacks shall be painted to match the adjacent roof or wall material and/or color.

G. Downspouts and Drains.

Scuppers, downspouts, and drains shall be internalized or located at the inside edges of building walls, porches, and columns. External scuppers, downspouts, and drains shall be painted and/or constructed of materials that match other building accents.