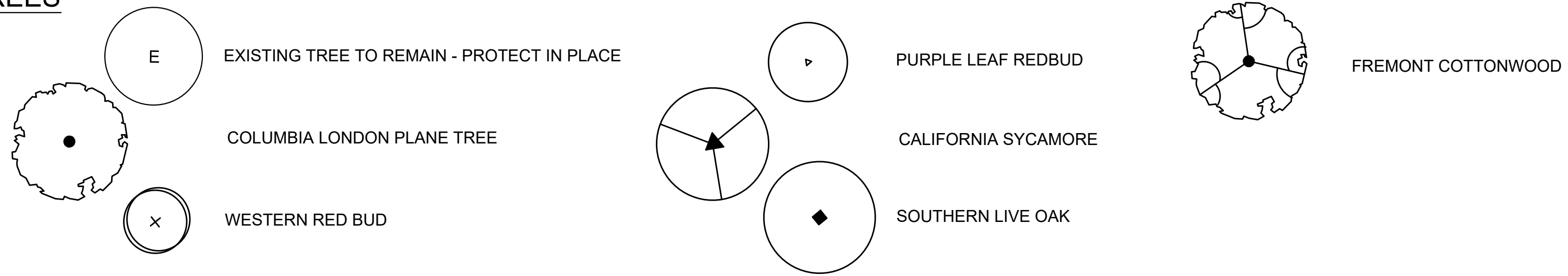
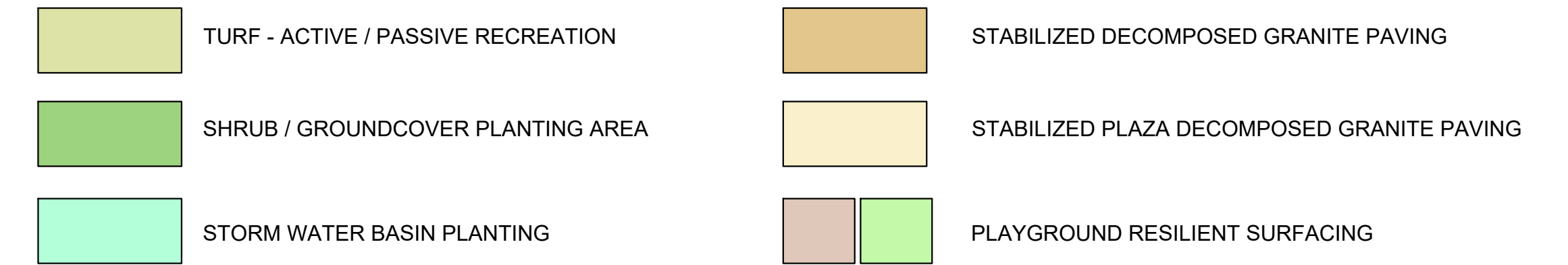


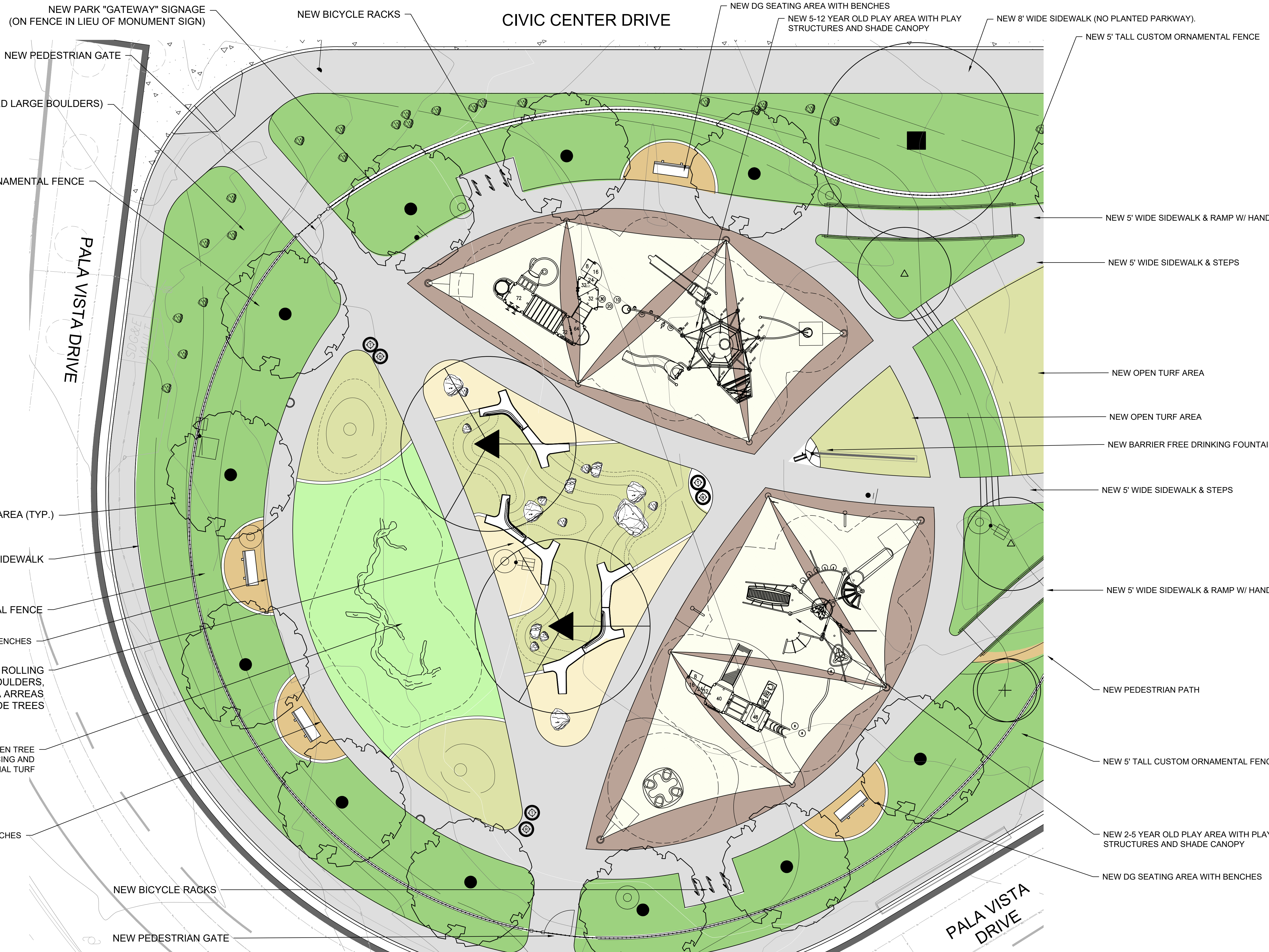
LEGEND:

TREES



GROUND COVER / HADSCAPE





PALA VISTA PARK

FINAL ILLUSTRATIVE PLAYGROUND PLAN




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SITE DEVELOPMENT PLAN EXPIRES: _____
 THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL


LC-5 STORMWATER
 INSPECTION PRIORITY HIGH WID NO.

A PLAY AREA ISOMETRIC RENDERINGS
 NOT TO SCALE | RENDERING IS ILLUSTRATIVE OF PLAY EQUIPMENT ONLY. FOR RESILIENT SURFACING SEE DETAIL A,D,E, AND F / LC-6

CITY of VISTA
 LANDSCAPE CONSTRUCTION DETAILS FOR:
 THE DEVELOPMENT OF
PALA VISTA PARK
 ADDRESS: 234 PALA VISTA DRIVE, VISTA, CA 92083
 APPROVED _____
 FOR CITY ENGINEER _____ RCE _____ EXPIRES _____ DATE _____
 SHEET 15 OF 40
 BENCH MARK:
 STATION 2052 PER RECORD OF SURVEY 14023
 (EL 358.46, NGVD29) **GP19-004**

NO.	DESCRIPTION	CITY	DATE	VID	DATE

APPROVED CHANGES

 LANDSCAPE ARCHITECTURE 2405 LANCASTER STREET SAN DIEGO, CA 92110 TEL: 619.444.2819 WWW.ASRLA.COM	ANDREW S. REESE ENGINEER OF WORK 4643 RLA 04.30.19 LIC. EXP. DATE XX-XX-XX DATE
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C.I.P.# 8296 LD# 19-021 DWG# 4603

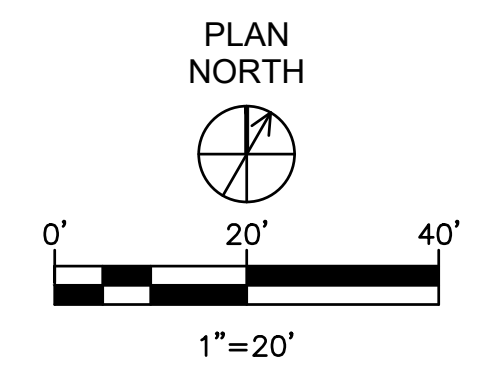
100% CONSTRUCTION DRAWINGS - JULY 15, 2020 - NOT FOR CONSTRUCTION



- CONSTRUCTION BMPs (CASQA)**
- ① SE-1 SILT FENCE
 - ② SE-5 FIBER ROLLS
 - ③ SE-7 STREET SWEEPING AND VACUUMING
 - ④ SE-10 STORM DRAIN INLET PROTECTION
 - ⑤ TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
 - ⑥ TC-3 ENTRANCE/OUTLET TIRE WASH
 - ⑦ NS-12 CONCRETE CURING
 - ⑧ NS-13 CONCRETE FINISHING
 - ⑨ WM-3 STOCKPILE MANAGEMENT
 - ⑩ WM-5 SOLID WASTE MANAGEMENT
 - ⑪ WM-8 CONCRETE WASTE MANAGEMENT
 - ⑫ WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
- POST CONSTRUCTION BMPs (CASQA)**
- ⑬ SD-12 EFFICIENT IRRIGATION
 - ⑭ SD-13 STORM DRAIN SIGNAGE
 - ⑮ SD-32 TRASH STORAGE AREAS

- NOTES TO CONTRACTOR**
1. TOTAL SOIL DISTURBANCE AREA = 39,900 SF (0.92 ACRES)
 2. SOIL AREAS EXPOSED DURING THE RAINY SEASON SHALL BE STABILIZED PER CASQA BMP STANDARDS.
 3. ALL EXPOSED SOILS SHALL BE STABILIZED FOR WIND EROSION CONTROL PER WE-1.
 4. TEMPORARY SWPP PROTECTION REQUIRED AS CONSTRUCTION CONTINUES OUTSIDE ORIGINALLY DEFINED PROJECT LIMITS

- LEGEND**
- CONSTRUCTION FENCE
 - SILT FENCE
 - FIBER ROLLS
 - LIMITS OF DISTURBANCE
- LEGEND**
- DRAINAGE AREA
 - Ⓐ DISCHARGE POINT
 - Ⓑ SAMPLING LOCATION



SITE DEVELOPMENT PLAN EXPIRES: _____
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

C-4 STORMWATER
INSPECTION PRIORITY **XX** WQID NO. _____

CITY of VISTA

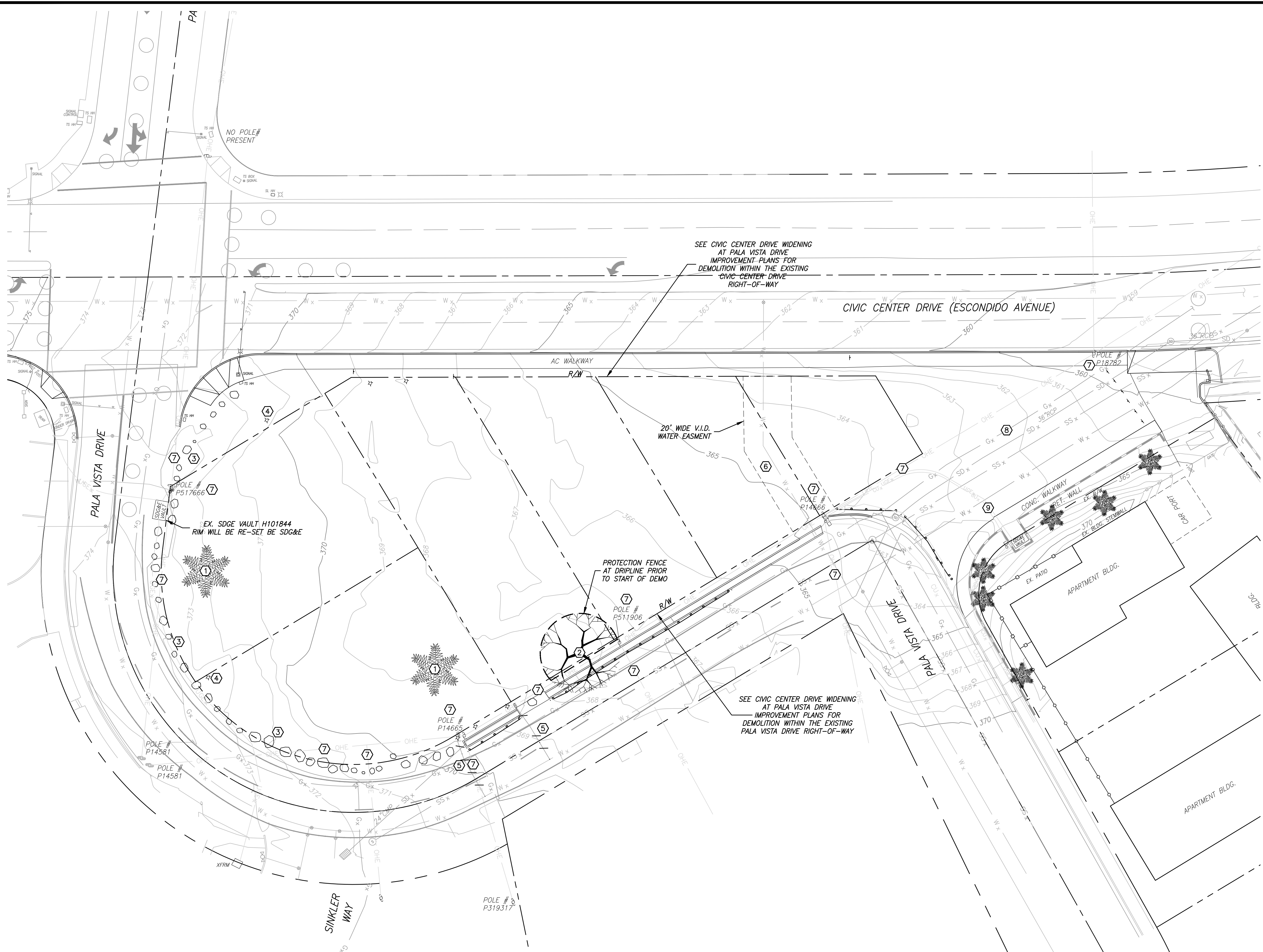
EROSION CONTROL PLAN FOR:
**THE DEVELOPMENT OF
PALA VISTA PARK**
ADDRESS: 234 PALA VISTA DRIVE, VISTA, CA 92083

APPROVED _____
FOR CITY ENGINEER RCE EXPIRES DATE SHEET 5 OF XX

BENCH MARK: STATION 2052 PER RECORD OF SURVEY 14023 (EL 358.46, NGVD29) **GP19-004**

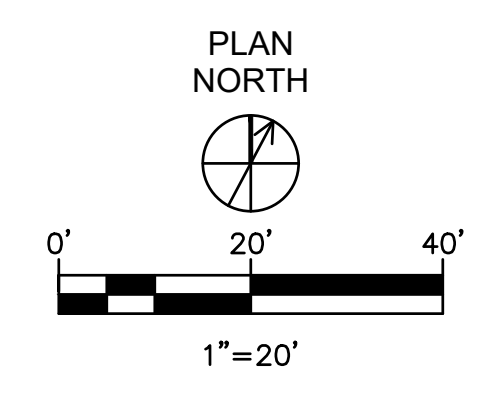
APPROVED CHANGES					R. E. BERG ENGINEERING 762 CALIFORNIA OAKS RD VISTA, CA 92081 P: (760)-599-9031 F: (760)-599-9041 bergengineering.net					
NO.	DESCRIPTION	CITY	DATE	VID	DATE	RICHARD BERG	41782	3/31/22	7/8/2020	
						ENGINEER OF WORK	RLA/PE	LIC. EXP. DATE	DATE	

100% CONSTRUCTION DRAWINGS - JULY 8, 2020 - NOT FOR CONSTRUCTION



- KEYNOTES**
- ① REMOVE EXISTING TREE
 - ② PROTECT EXISTING TREE—SEE LANDSCAPE
 - ③ REMOVE/REUSE EXISTING ROCKS
 - ④ REMOVE EXISTING STUMP
 - ⑤ REMOVE EXISTING WATER LATERAL AND METER
 - ⑥ PROTECT IN PLACE EXISTING 8-INCH WATER LINE
- EXISTING POWER POLES AND OVERHEAD LINES WILL BE REMOVED BY SDG&E. CONTRACTOR TO COORDINATE PHASING.
- ⑧ EXISTING GAS LINE WILL BE ABANDONED BY SDG&E AFTER NEW LINE IS INSTALLED IN CIVIC CENTER DRIVE BY SDG&E. CONTRACTOR TO COORDINATE PHASING.
 - ⑨ EXISTING U/G ELEC. AND COMM. LINES WILL BE ABANDONED BY SDG&E/AT&T/COX. CONTRACTOR TO COORDINATE PHASING.

- NOTES TO CONTRACTOR**
1. PRIOR TO STARTING WORK, CONTRACTOR TO PHYSICALLY VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND NOTIFY CITY OF ANY UNFORESEEN CONDITIONS.
 2. BEFORE EXCAVATING OR TRENCHING CONTACT UTILITIES MARK-OUT.
 3. PERFORM GRUBBING AS NECESSARY. IN AREAS TO BE MODIFIED BY CONSTRUCTION, REMOVE AND DISPOSE OF ALL ROOTS, MATED ROOTS, STUMPS, ORGANIC DEBRIS, NON-PRESSURE IRRIGATION PIPING AND REFUSE AS REQUIRED.
 4. ALL GRUBBING AND CLEARING RESIDUE, DEMOLISHED MATERIAL, RUBBISH AND DEBRIS GENERATED BY THIS PROJECT SHALL BE HAULED OFF-SITE TO THE NEAREST LANDFILL. UTILITIES SHALL NOT BE ABANDONED IN PLACE UNDERNEATH OR WITHIN 10 FEET OF ANY NEW FACILITIES.
 5. ALL CONDUITS TO BE ABANDONED SHALL HAVE WIRING REMOVED.
 6. EXISTING ABANDONED PIPING SHOWN ON THESE DRAWINGS IN THE PROJECT LIMITS SHALL BE REMOVED. THE EXISTENCE, SIZE, AND/OR LOCATION OF THE UTILITIES ARE NOT GUARANTEED BY THE SURVEYS PROVIDED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 7. ALL HAZARDOUS WASTE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE TRANSPORTED, DISPOSED OF OR RECYCLED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 8. SEE OTHER DISCIPLINES PLANS FOR DIRECTION ON REMOVAL OF NON-CIVIL ITEMS
 9. CONTRACTOR TO POT-HOLE UNKNOWN UTILITIES PRIOR TO STARTING WORK.



SITE DEVELOPMENT PLAN EXPIRES: _____
THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

C-5 STORMWATER
INSPECTION PRIORITY **XX** WDD NO. _____

CITY of VISTA

CIVIL DEMOLITION PLAN FOR:
**THE DEVELOPMENT OF
PALA VISTA PARK**

ADDRESS: 234 PALA VISTA DRIVE, VISTA, CA 92083

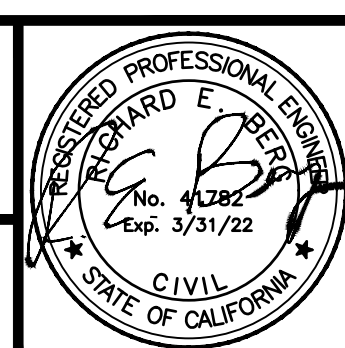
APPROVED _____
FOR CITY ENGINEER RCE EXPIRES _____ DATE _____ SHEET 6 OF XX

BENCH MARK:
STATION 2052 PER RECORD OF SURVEY 14023
(EL. 358.46, NGVD29)

GP19-004

R. E. BERG ENGINEERING
762 CALIFORNIA OAKS Rd VISTA, CA 92081
P: (760) 599-9031
F: (760) 599-9041
bergengineering.net

RICHARD BERG 41782 3/31/22 7/8/2020
ENGINEER OF WORK RLA/PE LIC. EXP. DATE DATE



NO.	DESCRIPTION	CITY	DATE	VID	DATE
APPROVED CHANGES					

100% CONSTRUCTION DRAWINGS - JULY 8, 2020 - NOT FOR CONSTRUCTION




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SITE DEVELOPMENT PLAN EXPIRES: _____
 THIS PLAN IS VALID FOR 2 YEARS FROM APPROVAL

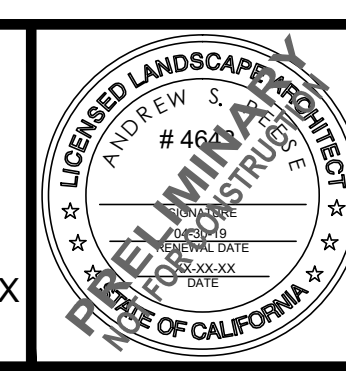
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NO.	DESCRIPTION	CITY	DATE	VID	DATE

ASR
 LANDSCAPE ARCHITECTURE
 2405 LANCASTER STREET
 SAN DIEGO, CA 92110
 TEL: 619.442.8196
 WWW.ASRLA.COM

ANDREW S. REESE
 ENGINEER OF WORK
 4643 RLA
 04.30.19 LIC. EXP. DATE
 XX-XX-XX DATE



CITY of VISTA
 LANDSCAPE CONSTRUCTION DETAILS FOR:
 THE DEVELOPMENT OF
PALA VISTA PARK
 ADDRESS: 234 PALA VISTA DRIVE, VISTA, CA 92083

APPROVED _____
 FOR CITY ENGINEER RCE EXPIRES DATE

SHEET 15 OF 40
GP19-004

C.I.P.# 8296 LD# 19-021 DWG# 4603

100% CONSTRUCTION DRAWINGS - JULY 15, 2020 - NOT FOR CONSTRUCTION